


NEW DWELLING & POOL
Lot 2 DP1259760
52 Clerke Street
Old Bar NSW 2430
For Aiden Young

Layout Index

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Concept Designs Australia Mob 0408 864184			
52 Clerke Street OLD BAR NSW 2430			
Site Area (m²)	750	Roof Area (m²)	278
Total Area of Garden and Lawn (m²)		405	
SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the current BASIX Certificate for complete details. For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
Fixtures			
4* Showerheads	Yes	4* Toilet	Yes
4* Kitchen Taps	Yes	4* Basin Taps	Yes
Alternative Water			
5000 litre rainwater tank connected to minimum 160m2 roof area			
Connected to :			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One outdoor tap	Yes	All Hot Water Services	No
Swimming Pool	Volume 30 KL, must have a cover and be outdoors		
THERMAL COMFORT COMMITMENTS – refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water	Solar (electric boosted)		15-20 STCs
Cooling System	Living	No cooling system	
	Bedrooms	No cooling system	
Heating System	Living	No heating system	
	Bedrooms	No heating system	
Ventilation	Bathroom	Individual fan ducted to façade or roof	Manual switch
	Kitchen	Individual fan ducted to façade or roof	Manual switch
	Laundry	Natural ventilation only	-
Natural Lighting	Window/skylight in kitchens		Yes
	Window/skylight in bathrooms/toilets	Yes	No 4
Artificial Lighting	80% of light fixtures are to be fitted with fluorescent, compact fluorescent or LED lamps.		
Pool	No heating, single speed pool pump installed with timer		
Alternative	Minimum 13.5 peak kilowatt photovoltaic system for each house to be installed.		
OTHER COMMITMENTS			
Outdoor clothesline	Yes	Indoor/sheltered clothesline	No
Stove/Oven	Induction cooktop and electric oven		



Certificate No. 0011838000


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Assessor name Leanne Houseman

Accreditation No. 10137

Property Address 52 Clerke Street, OLD BAR NSW,2430

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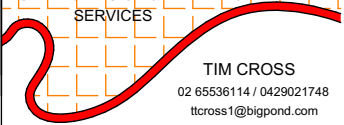
HERA Assessor # 10137		April 2025		CDA Reference: 5003	
52 Clerke Street OLD BAR NSW 2430					
Concept Designs Australia				Ph: 0408864184	
leanne.cdaus@outlook.com					
Thermal Performance Specifications					
External Wall Construction		Insulation	Colour (Solar Absorptance)		Detail
Brick Veneer		Vapour barrier + R2.5	Light		Except Garage
Brick Veneer		Vapour barrier	Light		Garage only
FC cladding		Vapour barrier + R2.5	Light		
Double brick		None	Light		Garage only
Internal Wall Construction		Insulation	Detail		
Plasterboard on studs		None			
Plasterboard on studs		R2.5	Internal walls Laundry, WC's and Bath		
Single brick plasterboard lined		R2.5	Internal walls Garage		
Ceiling Construction		Insulation	Detail		
Plasterboard		R5.0 – R3.0 eave batts	All ceilings adjacent to roof space (Except Garage)		
Roof Construction		Insulation	Colour (Solar Absorptance)		Detail
Colorbond		R1.5 anticon blanket	Light – Shale grey		
Floor Construction		Insulation	Covering		
225mm waffle pod		None	Bare, Timber and Tiles		
Concrete		R2.5 under suspended floor to outside	Carpet and Tiles		
Windows	Glass and frame type	U Value	SHGC	Details	
CAP-128-001	Aluminium framed single clear	6.65	0.66	Sliding windows – Garage, Laundry, Bath, WC	
CAP-500-005	Aluminium framed single low e	4.42	0.48	Hinged door - Entry	
CAP-128-002	Aluminium framed single low e	5.16	0.56	Sliding windows – 0621 Games, Bed 2, Ens, Bed 1, Bed 3, Bed 4	
CAP-526-002	Aluminium framed single low e	4.62	0.48	Louvre windows – Living, WIP	
CAP-109-003	Aluminium framed single low e	4.12	0.63	Fixed windows - Kitchen	
CAP-129-004	Aluminium framed double low e	3.69	0.50	Sliding windows – 1221 Games, Entry, Living, Study	
CAP-541-003	Aluminium framed double low e	3.04	0.51	Sliding doors – Games, Bed 1, Media	
CAP-539-004	Aluminium framed double low e	3.38	0.44	Bi-fold doors - Dining	
U and SHGC values are according to AFRC. Alternate products may be used if the U value is the same or lower and the SHGC is within 5% of the above figures. This also applies to changes to the type and thickness of glass required to meet Bushfire regulations.					
Ceiling fans 1200mm ceiling fans to Games, Living, Dining, Media, Bed 1, Bed 2, Bed 3, Bed 4					
Notes					
External doors to be weather stripped and windows to comply with AS 2047.					
This dwelling has been rated with non-ventilated LED downlights as per NatHERS Certificate.					
Exhaust fans to be fitted with self-closing dampers as per NCC.					
If metal frames are used, a revised assessment is required.					
Insulation specified must be installed in accordance with BCA Volume Two In some climate zones, insulation should be installed with due consideration of the condensation and associated interaction with adjoining building materials.					

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Revisions
DA Documentation 4/04/2025

GENERAL NOTES

- 1. DO NOT SCALE OFF PLAN,FIGURED DIMENSIONS TAKE PREFERENCE
- 2.ALL DEEMSIONS AND LEVELS TO BE CHECKED ON PLAN BEFORE WORK IS COMMENCED.
- 3. ALL BUILDING WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH ALL RELEVENT ACTS, BYLAWS REGULATIONS & CODES.
- 4.ALL STRUCTURAL CONCRETE SHALL BE CONSTRUCTED TO CONFORM TO ENGINEERS INSTRUCTIONS & RELEVANT PARTS OF THE NCC
- 5.PROTECTION FROM SUBTERRANEANE TERMITES TO COMPLY WITH AS3660-1 & NCC PART 3.4 TERMITE RISK MANAGEMENT.
- 6.SITE DRAINAGE TO COMPLY WITH NCC PART 3.1.3 CLAUSES1-5
- 7.VENTILATION TO COMPLY WITH NCC PART 3.8.5
- 8.TIMBER FRAMING TO COMPLY WITH AS1684 & NCC PART 3.4.3
- 9.ALL WET AREAS TO COMPLY WITH NCC PART10.2 & 3.8.1
- 10. SMOKE ALARMS TO BE PROVIDED IN ACCORDENCE WITH AS3786 & NCC PART 3.7.2
- 11. LIGHTING TO COMPLY WITH NCC PART 3.8.4
- 12. STAIRS & RAMP CONSTRUCTION NCC PART3.9.1BARRIERS & BALISTRADES 3.9.2 & 11.3
- 13. STEEL FRAMING TO COMPLY WITH AS1230, AS3623, AS4100 & NCC PART 3.4.0

ALL SITE CONTOURS AND FINISHED LEVELS TO BE VERIFIED BY BUILDER ON SITE

ALL CUT & FILL BATTERS WHERE NOT RETAINED TO BE OF NO GREATER GRADIENT WHERE PRACTICAL OF 1:4 BATTERED EMBANKMENT.

BOUNDARY DIMENSIONS BORDERING ON MINIMUM LOCAL AUTHORITY SETBACKS TO BE VERIFIED BY SURVEYOR AT INITIAL SETOUT STAGE.

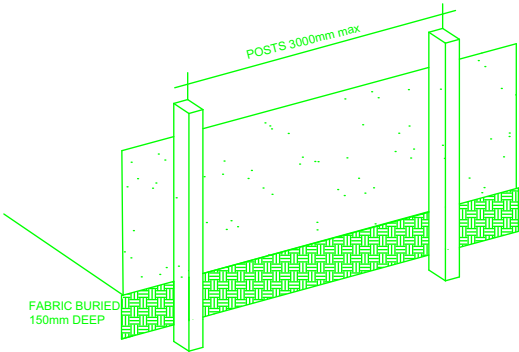
WHERE RETAINING IS REQUIRED ANY WALLS EXCEEDING 1.0M IN HEIGHT ARE TO BE DESIGNED BY A CERTIFIED ENGINEER.

STORMWATER GRATES ARE TO BE PLACED ON SITE SO AS TO ALLOW ANY EXCESS SURFACE WATER TO CUT AREAS ON SITE TO ESCAPE TO STREET SYSTEM.

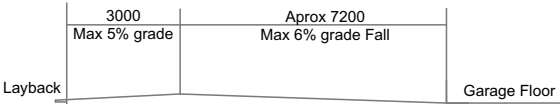
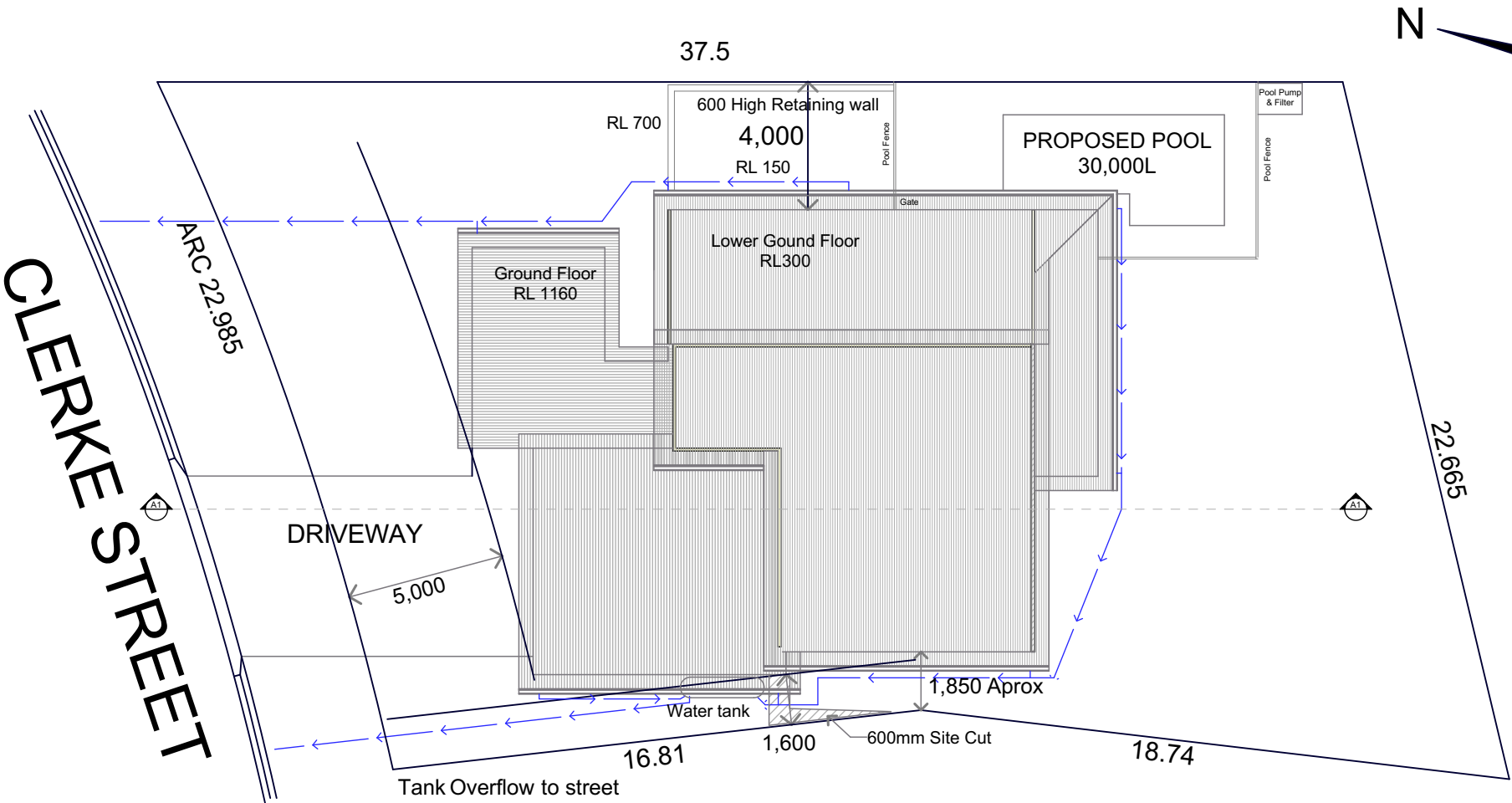
NOTE :SITE EXCAVATIONSHALL BE SUCH THAT A 900mm MIN WIDE BY 1:20 GRADE EXISTS AROUND PERIMETER OF BUILDING.

SEDIMENT CONTROLS

- 1. ALL EROSION & SEDIMENT CONTROL MEASURES .INCLUDING REVEGETATION & STORAGE OF SOIL &TOPSOIL ,SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW
- 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED & STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS CONSISTING OF 300 WIDE X 300mm DEEP TRENCH.
- 4. ALL SEDIMENT BASINS & TRAPS SHALL BE CLEARED WHEN THE STRUCTURES ARE A MAX OF 60 % FULL OF SOIL MATERIALS INCLUDING THE MAINTENANCE PERIOD.
- 5. ALL DESTURBED AREAS SHALL BE REVEGITATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- 6. SOIL & TOPSOIL STOCK PILES SHALL BE LOCATED AWAYFROM DRAINAGE LINES & AREAS WHERE WATER MAY CONCENTRATE.
- 7. FILTER FENCE SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC BETWEEN POSTS 3m CENTERS & BURIED A MIN OF 150mm DEEP ALONG ITS LOWER EDGE.



BASIX SCHEDULE	
No OF BEDROOMS	4
SITE AREA (TOTAL)	750m2
ROOF AREA (TOTAL)	278m2
NET CONDITIONED FLOOR AREA	230.8m2
NET UNCONDITIONED FLOOR AREA	16.3m2
LANDSCAPE AREA	405m2
INDIGINOUS PLANTING REQUIRED	0m2
SHOWER HEAD RATING	4 star(>6 but <=7.5L/min)
TOILETS RATING	4 star
TAP FITTING KITCHEN	4 star
TAP FITTING BATHROOM	4 star
WATER TANK	5,000L
TANK WATER USAGE	TOILETS,GARDEN & WM
HOT WATER UNIT	Electric Boosted Solar
THERMAL COMFORT	DIY BASIX
AIR CONDITIONING	None
MECHANICAL VENTILATION (FANS)	Ceiling Fans Living & Beds
VENTILATION BATHROOM	INDIVIDUAL FAN (DUCTED)
VENTILATION KITCHEN	INDIVIDUAL FAN(DUCTED)
VENTILATION LAUNDRY	Natural Ventilation
COOKTOP	Induction Cooktop
OVEN	Electric
OUTDOOR CLOTHES LINE	YES
ENERGY EFFICIENCY NOTES	
EXT. WALL COLOUR	Light
ROOF COLOUR	Light
FLOOR INSULATION	Polystyrene
EXT. WALL INSULATION	Fibreglass batts or Roll + Sarking
CEILING INSULATION	Fibreglass batts or Roll
ROOF INSULATION	Foil backed blanket
WINDOWS & GLAZED DOORS	See Full Basix certificate
LIGHTING	See full basix Certificate



DRIVEWAY LONG SECTION

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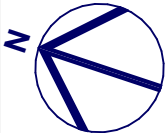
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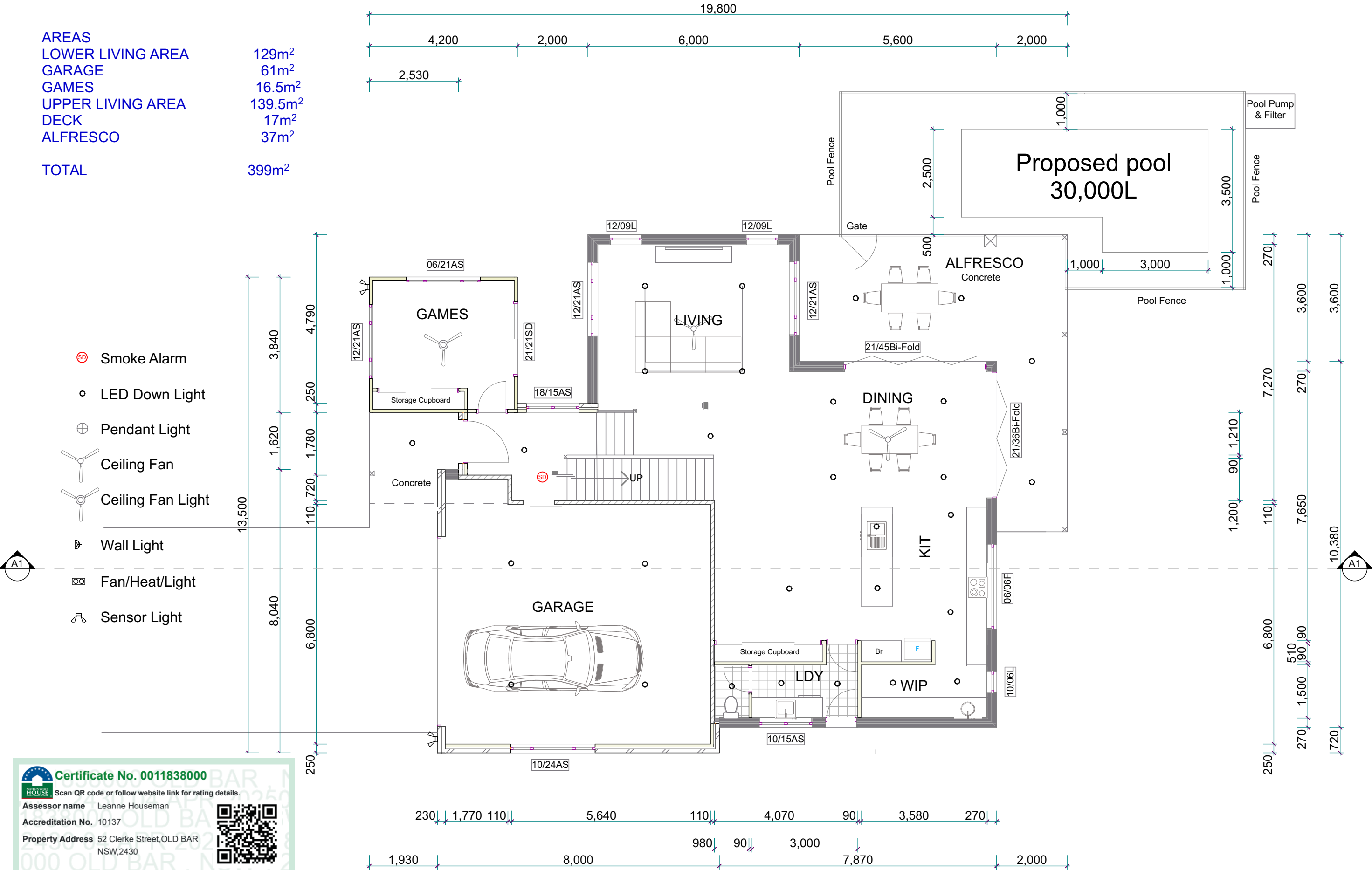
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Revisions
DA Documentation 4/04/2025



Project: NEW DWELLING & POOL Lot 2 DP1259760 52 Clerke Street Old Bar NSW 2430 For Aiden Young	Drawing Title: Site & Roof Plan	Print Date: 7/04/2025 11:55 AM
	Scale: 1:200 @ A3	Rev: DR1
	Drawing No: DR-01	

AREAS	
LOWER LIVING AREA	129m ²
GARAGE	61m ²
GAMES	16.5m ²
UPPER LIVING AREA	139.5m ²
DECK	17m ²
ALFRESCO	37m ²
TOTAL	399m ²




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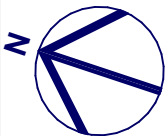
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Revisions
DA Documentation 4/04/2025



Project:
NEW DWELLING & POOL
Lot 2 DP1259760
52 Clerke Street
Old Bar NSW 2430
For Aiden Young

Drawing Title:
Ground Floor

Print Date:	7/04/2025 11:55 AM
Scale:	1:120 @ A3
Rev:	DR1
Drawing No:	DR-02



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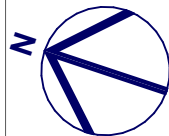
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Drawing Title:

First Floor

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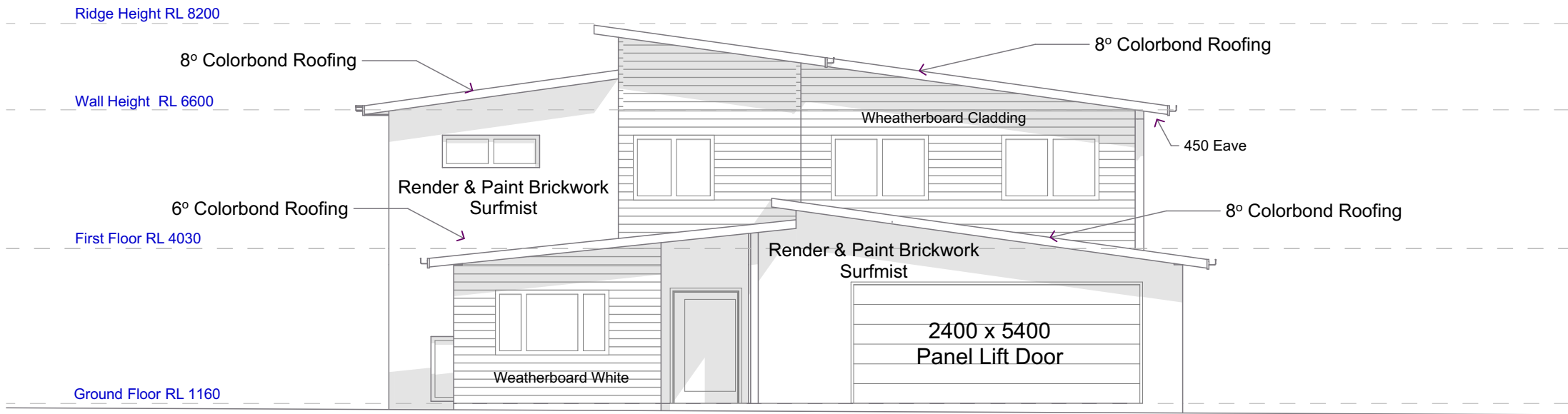
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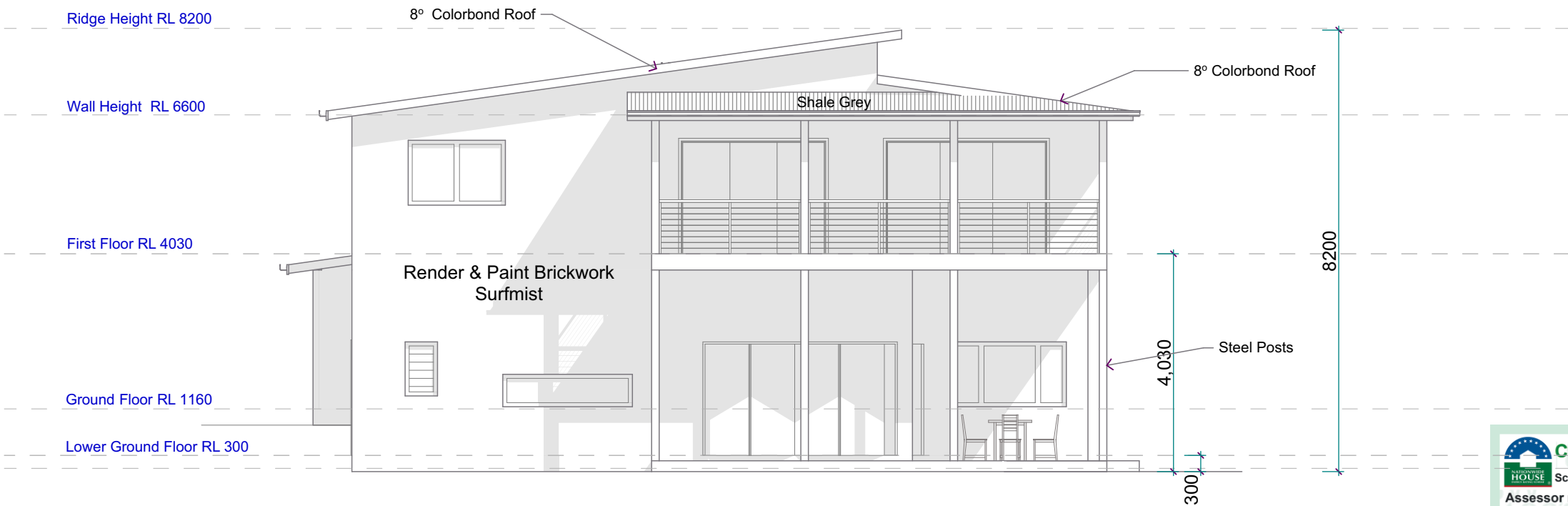
DR1

Drawing No:


DR-03




Northern Elevation



Southern Elevation

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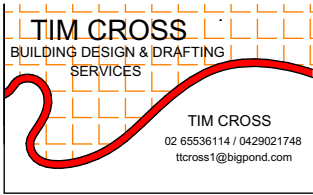


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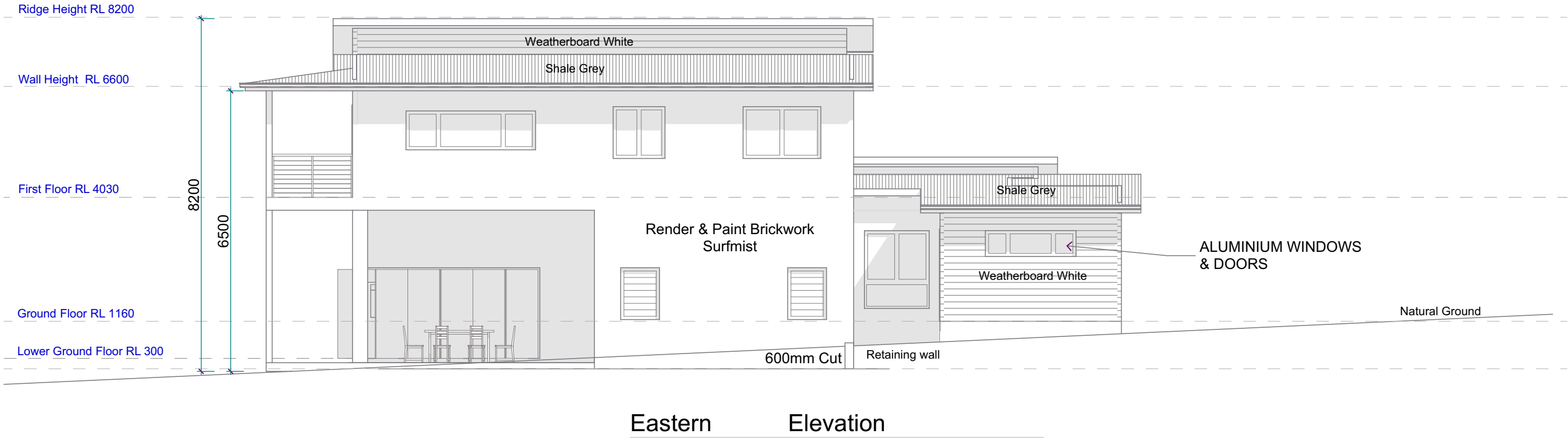
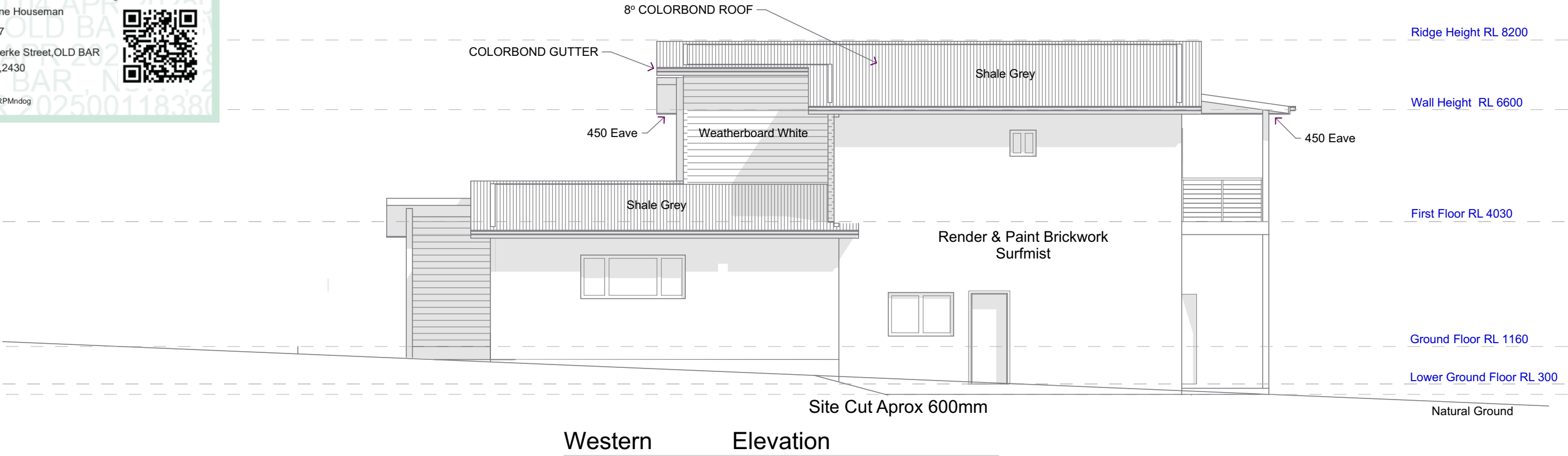
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Elevations

Print Date:	7/04/2025 11:55 AM
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Rev:	DR1
Drawing No:	DR-04



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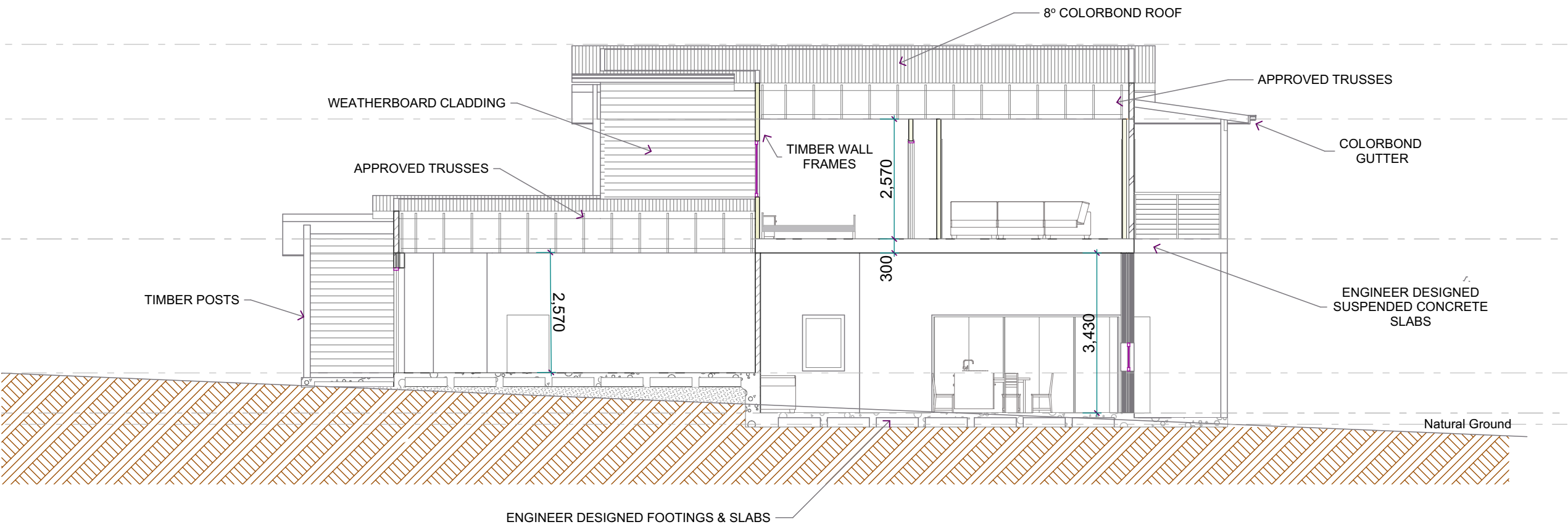
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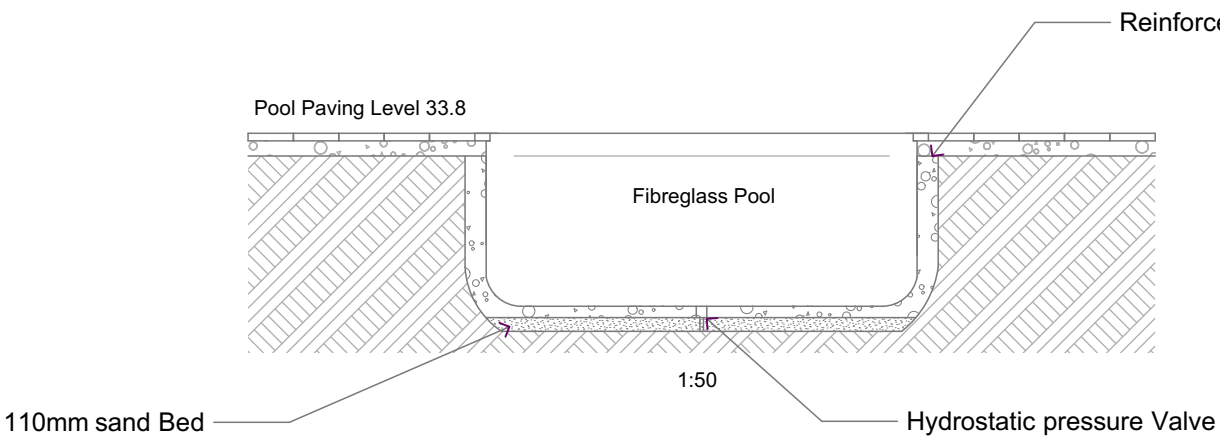
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Drawing No:	DR-05





SECTION A1



TYPICAL POOL SECTION

- Pool gate self closing, self locking & opening outwards away from pool area in accordance with AS196.1-2012 Fence & Gates for private swimming pools
- Pool fence to comply with AS 1926.1-2012 Fencing code
- Filtration system to comply with AS 1926.3
- Pool filter backwash to discharge to rubble pit
- Auto time clock to control pool pump

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